



DEVELOPMENT PERMIT NO. DP000908

**THE BRITISH COLUMBIA SOCIETY FOR THE
PREVENTION OF CRUELTY TO ANIMALS**

Name of Owner(s) of Land (Permittee)

154 WESTWOOD ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**THE WESTERLY 12.042 CHAINS OF SECTION 13, RANGE 8, MOUNTAIN
DISTRICT EXCEPT PART IN PLAN VIP61247 AND VIP81292**

PID No. 008-977-402

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Building Elevations
Schedule D Overall Landscape Plan
Schedule E Landscape Plan (Around Building and Parking Court)
Schedule F Landscape Details
Schedule G Landscape Specifications
**Schedule H Maintenance Guidelines for Parkway Character &
Tree Protection Zone**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

Siting of Buildings – Section 8.5.2

Boarding kennels shall be setback at least 30m from all lot lines.

6. The City of Nanaimo "DEVELOPMENT PARKING REGULATIONS BYLAW 2005 NO. 7013" is hereby varied as follows:

Subsection 16.4

The City of Nanaimo parking bylaw requires all off-street parking and loading areas to be hard-surfaced with asphalt, concrete, pavers or similar pavement so as to provide a surface that is durable and dust free.

The parking layout has an asphalt drive aisle, however the parking spaces and turnaround lane are of compacted gravel. The proposed variance is to have these areas finished in gravel instead of a hard surface.

REVIEWED AND APPROVED ON

2015 - May - 28
Date

D. Lindsay
D. Lindsay
Director

Community Development

Pursuant to Section 154 (1)(b) of the Community Charter

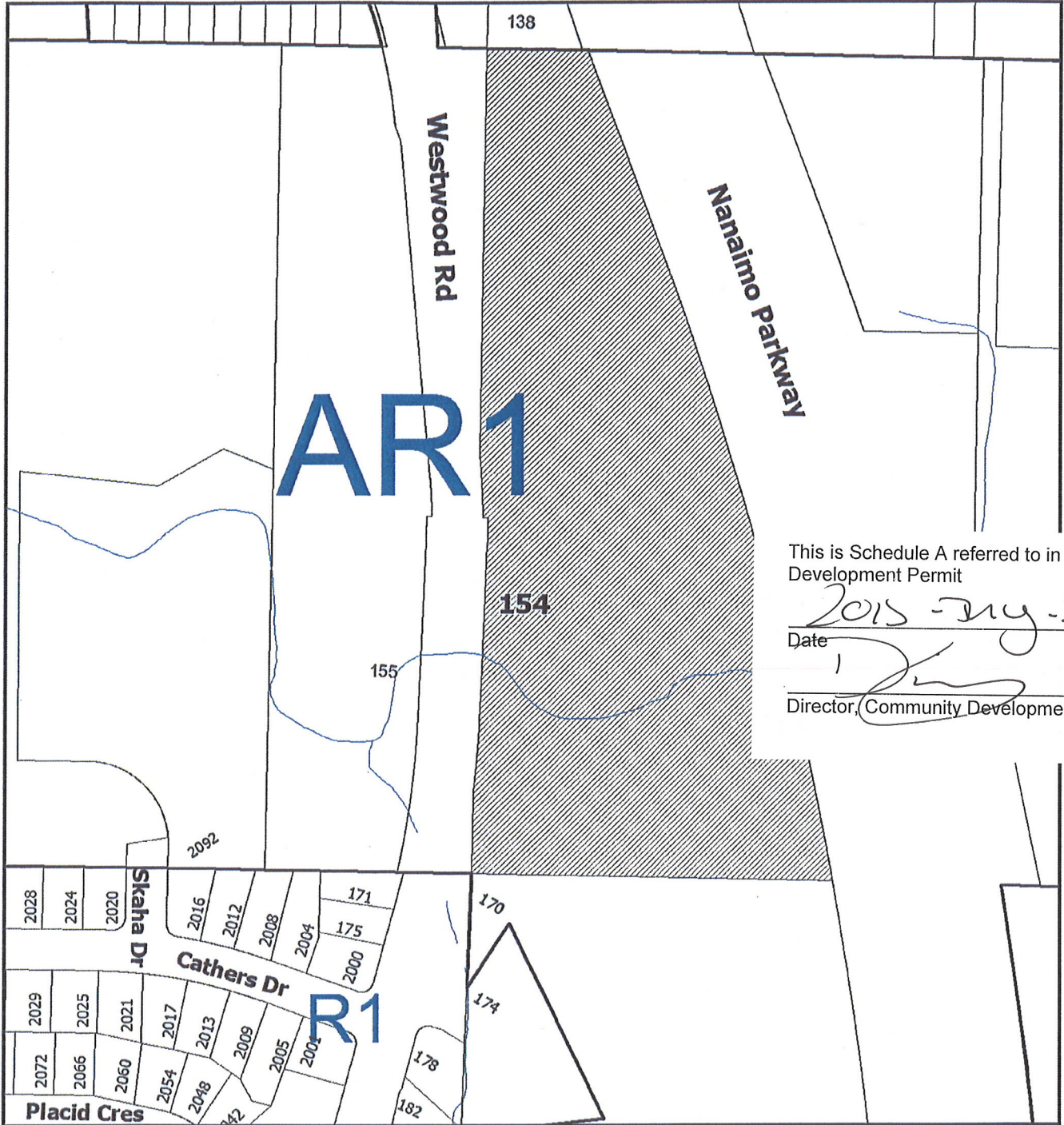
GN/n

Prospero attachment: DP000908

Development Permit DP000908
154 Westwood Road

Schedule A

LOCATION PLAN




This is Schedule A referred to in the
Development Permit

2015 - July - 28
Date

Director, Community Development

DEVELOPMENT PERMIT NO. DP000908

LOCATION PLAN

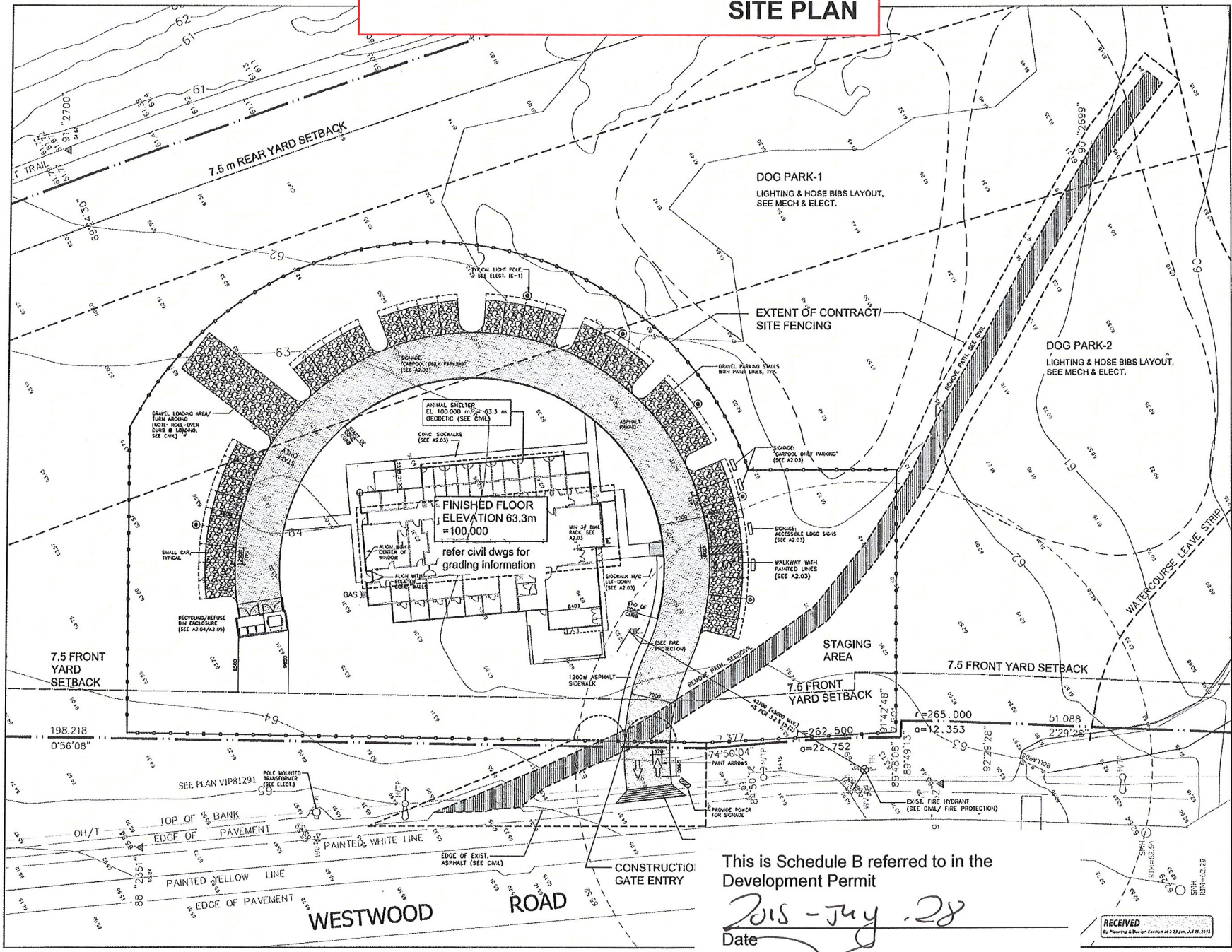
 Subject Property



Civic: 154 Westwood Road
The Westerly 12.042 Chains of Section 13, Range 8, Mountain District,
Except Part in Plans VIP61247 and VIP81292

Development Permit DP000908
154 Westwood Road

Schedule B
SITE PLAN



DATE: 2015-04-30
SCALE: 1:200
PROJECT: 154 WESTWOOD ROAD, NANAIMO B.C.
DRAWN BY: J. HARRIS
CHECKED BY: M. HARRIS
DATE: 2015-04-30



ISSUED FOR
PT ADDENDA/
CONSTRUCTION
2015-04-30

NO.	REV.	DESCRIPTION
1	0	ISSUED FOR PERMIT
2	1	REVISIONS
3	2	REVISIONS
4	3	REVISIONS
5	4	REVISIONS
6	5	REVISIONS
7	6	REVISIONS
8	7	REVISIONS
9	8	REVISIONS
10	9	REVISIONS
11	10	REVISIONS
12	11	REVISIONS
13	12	REVISIONS
14	13	REVISIONS
15	14	REVISIONS
16	15	REVISIONS
17	16	REVISIONS
18	17	REVISIONS
19	18	REVISIONS
20	19	REVISIONS

NANAIMO
SPCA
154 WESTWOOD ROAD, NANAIMO B.C.

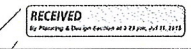
A2.02

SITE PLAN
scale: 1:200

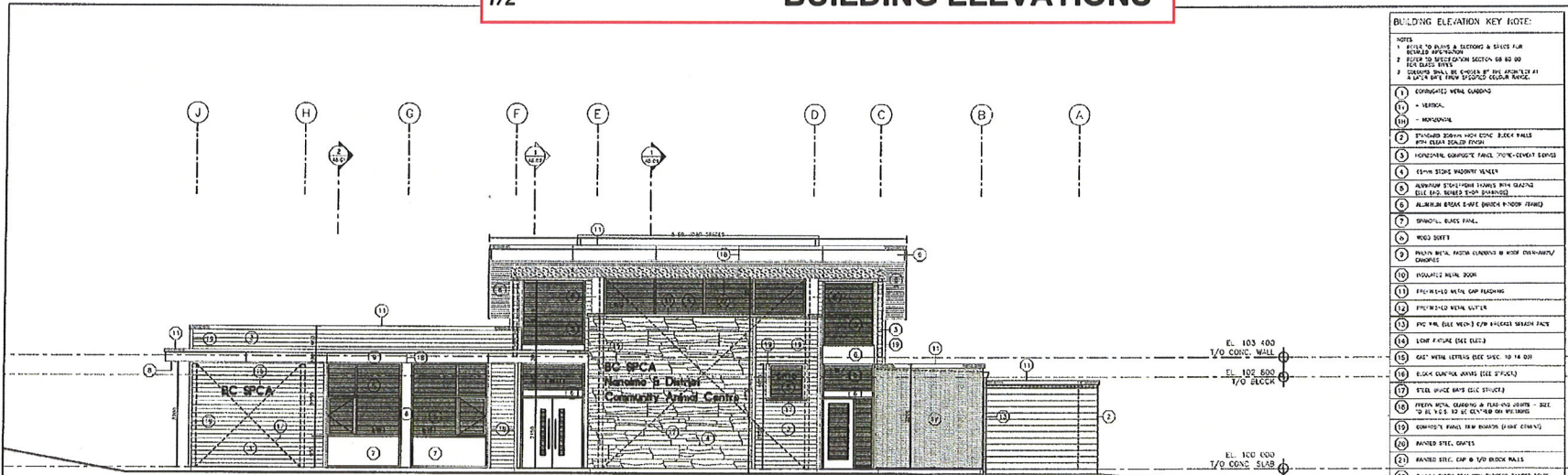
This is Schedule B referred to in the
Development Permit

Date: 2015 - July 28

Director, Community Development



BUILDING ELEVATIONS



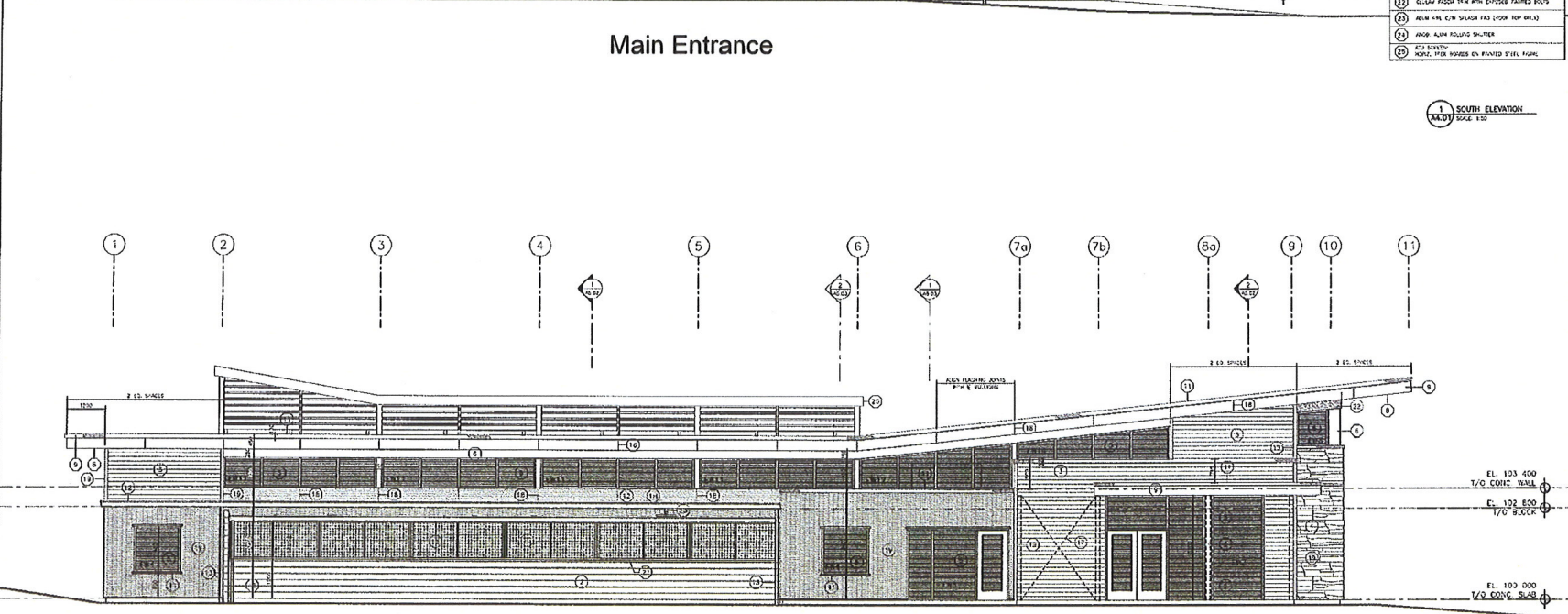
Main Entrance

BUILDING ELEVATION KEY NOTE:

1. SEE PERMITS SECTION & SHEET 1-01 FOR REQUIRED APPROVALS
2. REFER TO SPECIFICATION SECTION 08 40 00 FOR GLASS WALLS
3. DIMENSIONS SHALL BE SHOWN BY THE ARCHITECT AT A SCALE 5/8" = 1'-0" UNLESS OTHERWISE NOTED

- (1) EXPANDED METAL GARDING
- (2) ASPHALT
- (3) HORIZONTAL
- (4) FINISHED BRICK WITH CONC. BLOCK WALLS WITH CLEAR GLAZED PANELS
- (5) HORIZONTAL CORRUGATED PANEL 7/16" - 1/2" CLEARANCE
- (6) 1/2" BRICK MASONRY VENEER
- (7) ALUMINUM STATIONARY WINDOWS WITH GLAZING (SEE SPEC. FINISHES SECTION)
- (8) ALUMINUM BRICK-SAVE BRICKS FINISH (SEE SPEC.)
- (9) BRICKWORK - BRICK FINISH
- (10) WOOD SHIP
- (11) PAINTED METAL PANEL (GLAZING) IN WOOD FINISH (SEE SPEC.)
- (12) INSULATED METAL PANEL
- (13) FINISHED METAL GARDING
- (14) FINISHED METAL BUTTER
- (15) FINISHED METAL GARDING
- (16) 1/2" BRICK WALL WITH 1/2" FINISHED MASONRY FACE
- (17) LOW PROFILE (SEE SPEC.)
- (18) 1/2" METAL VERTICAL BRICK SLIC. 1/2" ON OFF
- (19) BLOCK COURSE (SEE SPEC.)
- (20) STEEL BRIDGE BARS (SEE SPEC.)
- (21) GREEN METAL CLADDING IN BRICKING COURSE - SEE SPEC. FOR 1/2" ON OFF ON THE BRICKS
- (22) CONCRETE PANEL (SEE SPEC.)
- (23) PAINTED STEEL GATES
- (24) PAINTED STEEL CAP @ 1/2" BRICK WALLS
- (25) SLUMP FINISH WITH FINISHED FARMED BRICKS
- (26) ALUM. FIN. CURTAIN WALLS (SEE SPEC.)
- (27) ANOD. ALUM. FINISH SHUTTER
- (28) 1/2" BRICKWORK WITH BRICKS ON PAINTED STEEL FRAME

1 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



Facing Westwood Road

2 WEST ELEVATION SCALE: 1/8" = 1'-0"

PROJECT: 154 WESTWOOD ROAD
 DRAWING NO: DP000908-01
 DATE: 2015-04-30
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]



ISSUED FOR
 PT ADDENDA/
 CONSTRUCTION
 2015-04-30

No.	Rev.	Revised
1	1	Issue for Review
2	1	Issue for Construction
3	1	Issue for Construction
4	1	Issue for Construction
5	1	Issue for Construction

Project: **NANAIMO SPCA**
 154 WESTWOOD ROAD, NANAIMO B.C.
 Drawn by: [Signature]

A4.01

DATE: 2015-04-30
 SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS

NO.	REV.	DATE	BY	CHKD.
1	1	2015-04-30	[Signature]	[Signature]

This is Schedule C referred to in the Development Permit

2015-July-28

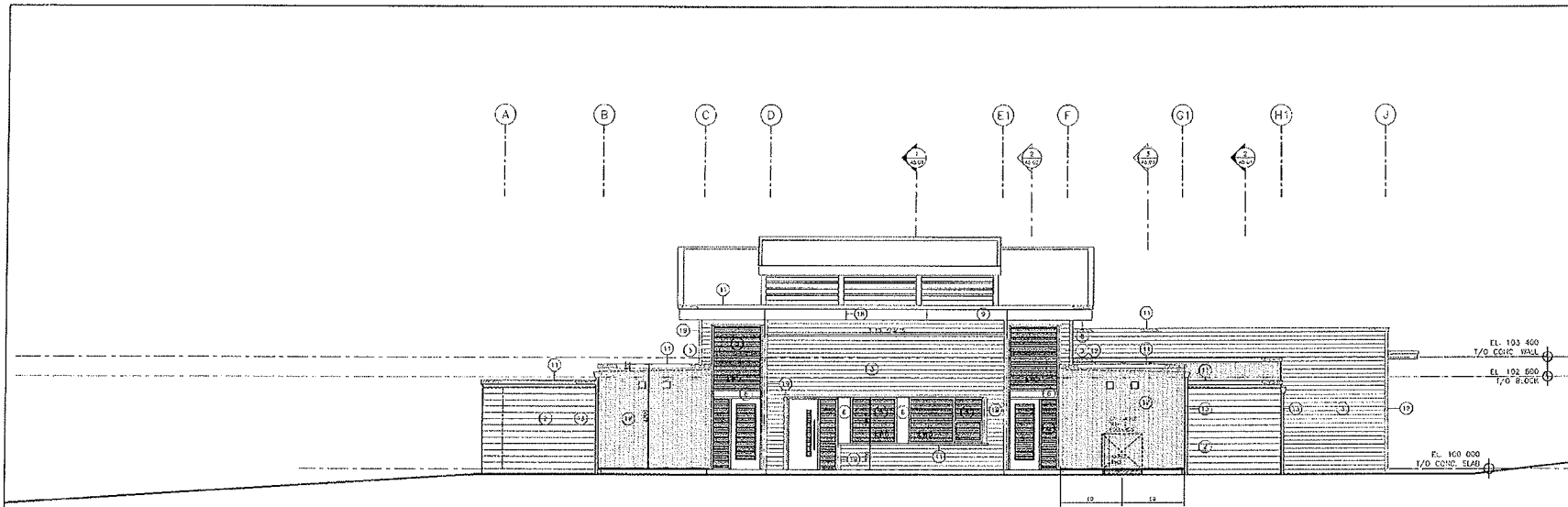
Date

[Signature]
 Director, Community Development

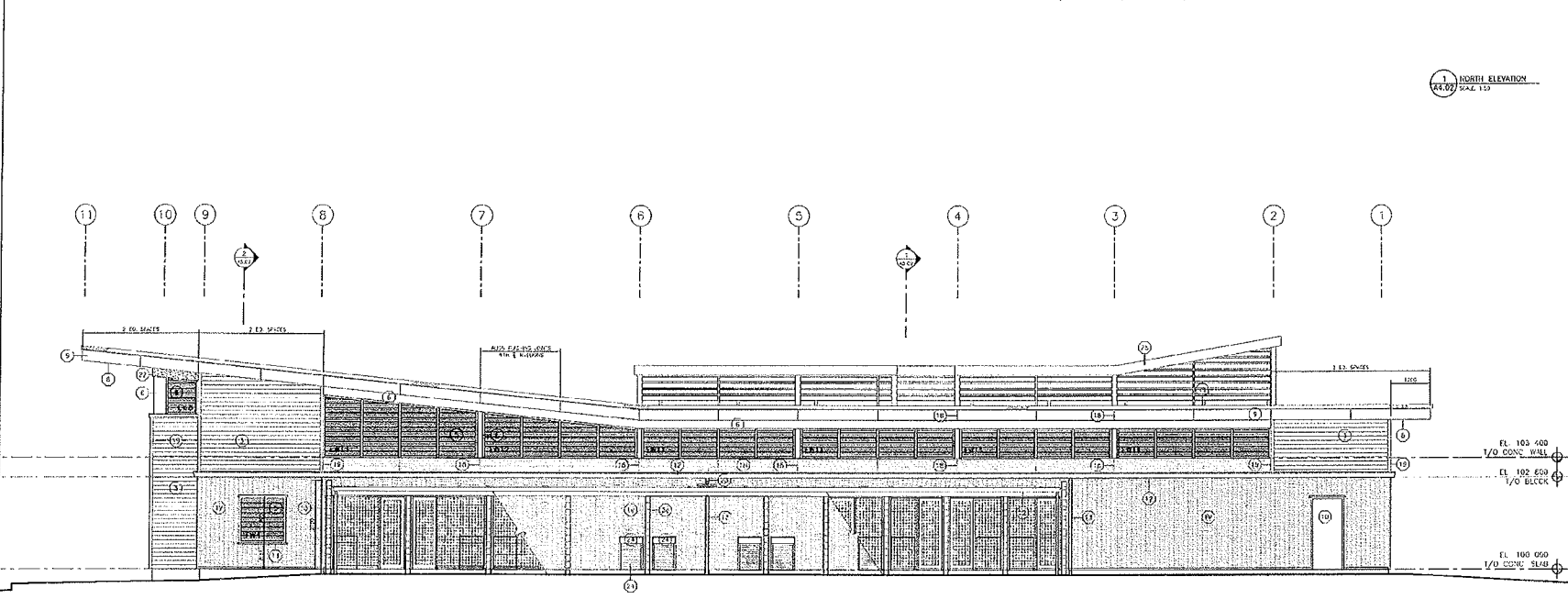
BC-11-2009-01
 REG. NO. 414
 REG. DATE: 08/11/09
 REG. EXPIRES: 08/11/14
 REG. CLASS: ARCHITECT
 REG. NO. 414
 REG. DATE: 08/11/09
 REG. EXPIRES: 08/11/14
 REG. CLASS: ARCHITECT



ISSUED FOR
 PT ADDENDA/
 CONSTRUCTION
 2015-04-30



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



Facing Nanaimo Parkway

RECEIVED
 By L. Neilson at 3:26 pm, Jun 23, 2015

2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

All quantities to be verified and confirmed by the contractor.

No.	Qty.	Unit	Description

Project: **NANAIMO SPCA**
 154 WESTWOOD ROAD, NANAIMO B.C.
 Designer:

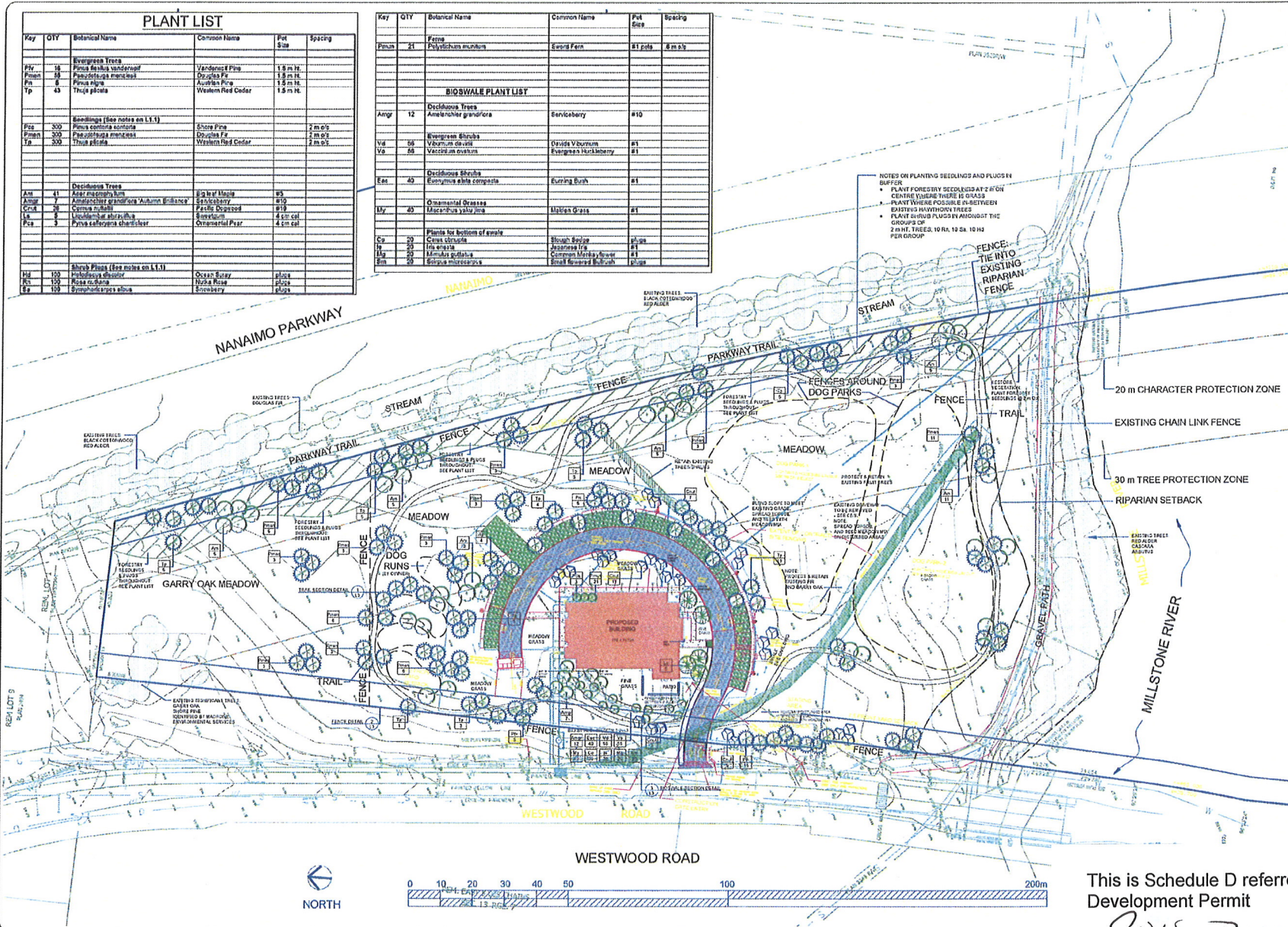
A4.02

REG. NO. 414
 REG. DATE: 08/11/09
 REG. EXPIRES: 08/11/14
 REG. CLASS: ARCHITECT

BUILDING ELEVATIONS

NO.	DATE	BY	CHKD.

OVERALL LANDSCAPE PLAN



NOTES:
1. FOR GRADING INFORMATION SEE CIVIL ENGINEERING DRAWINGS

- REVISIONS:
- Issued for Review - 2014Aug20
 - Issued for Review - 2014Sep09
 - Issued for Review - 2014Sep10
 - Issued for Review - 2014Sep22
 - Issued for DP - 2014Sep23
 - Issued for Review - 2014Nov17
 - Issued for Review - 2014Nov20
 - Issued for Tender - 2014Dec21
 - Issued for Review - 2015Mar24
 - Issued for BP Review - 2015Apr20
 - Issued for PT Addenda/Construction - 2015Apr30



PROJECT:
BCSPCA NANAIMO, BC
154 WESTWOOD ROAD
NANAIMO, BC

SITE LEGAL DESCRIPTION:
THE WESTERLY 12,042 CHAINS OF SECTION 13, RANGE 8, MOUNTAIN DISTRICT EXCEPT PART IN PLAN V1P81247 AND V1P81292

SHEET TITLE:
LANDSCAPE SITE PLAN

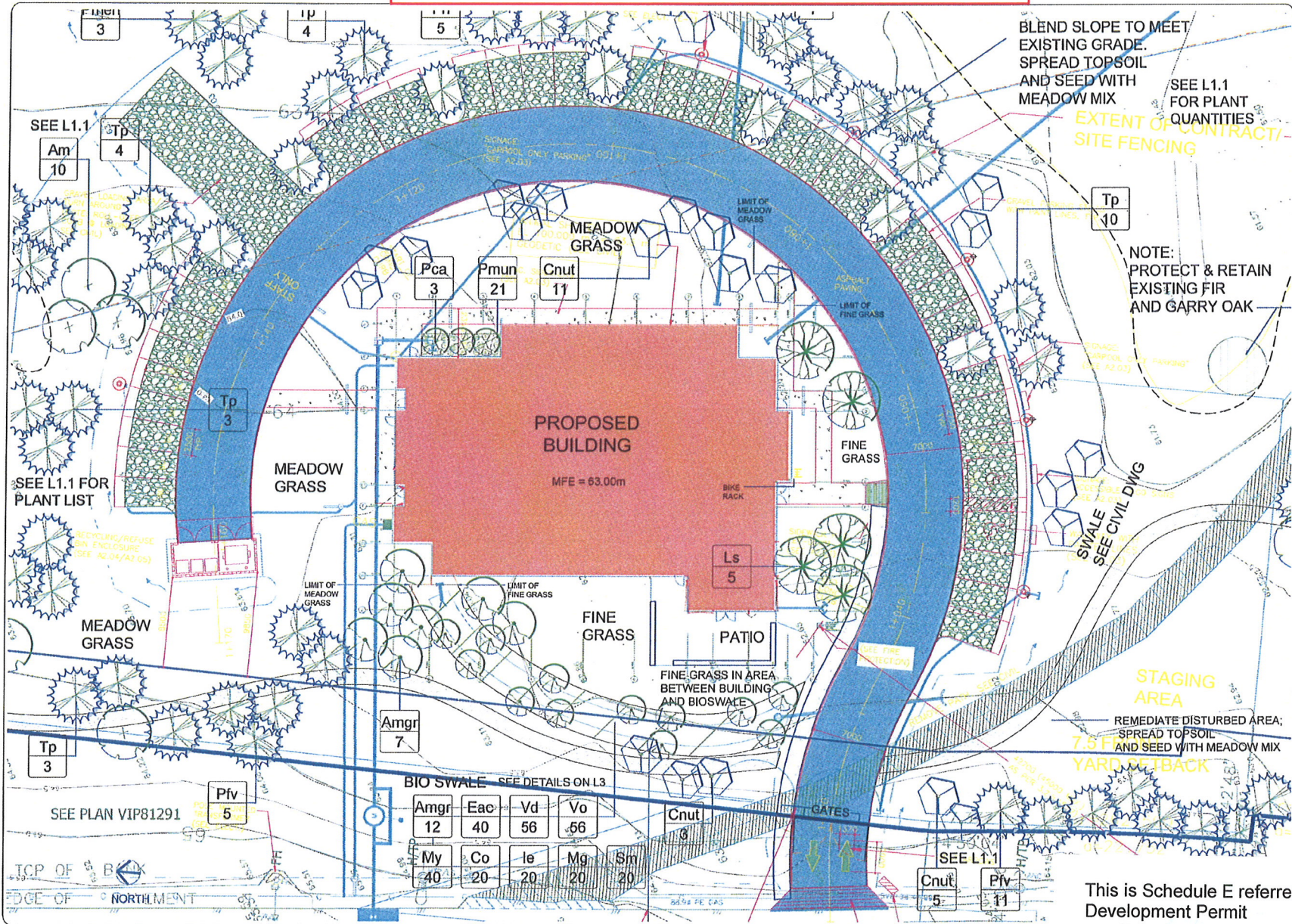
SCALE: 1:400 DATE: APR 18 2014

This is Schedule D referred to in the Development Permit

Date 2015-July-28

[Signature]
Director, Community Development

LANDSCAPE PLAN
(Around Building and Parking Court)



BLEND SLOPE TO MEET EXISTING GRADE. SPREAD TOPSOIL AND SEED WITH MEADOW MIX

SEE L1.1 FOR PLANT QUANTITIES

EXTENT OF CONTRACT/ SITE FENCING

NOTE: PROTECT & RETAIN EXISTING FIR AND GARRY OAK

NOTES:
1. FOR GRADING INFORMATION SEE CIVIL ENGINEERING DRAWINGS

REVISIONS:

- Issued for Review - 2014Aug20
- Issued for Review - 2014Sep09
- Issued for Review - 2014Sep10
- Issued for Review - 2014Sep22
- Issued for DP - 2014Sep23
- Issued for Review - 2014Nov17
- Issued for Review - 2014Nov20
- Issued for Tender - 2014Dec21
- Issued for BP Review - 2015Apr20
- Issued for PT Address/Construction - 2015Apr30



PROJECT:

BCSPCA
NANAIMO, BC

154 WESTWOOD ROAD
NANAIMO, BC

SITE LEGAL DESCRIPTION:
THE WESTERLY 12,042 CHAINS OF SECTION 13, RANGE 8, MOUNTAIN DISTRICT EXCEPT PART IN PLAN VIP81291 AND VIP81292

SHEET TITLE:

PATIO PLANTING PLAN

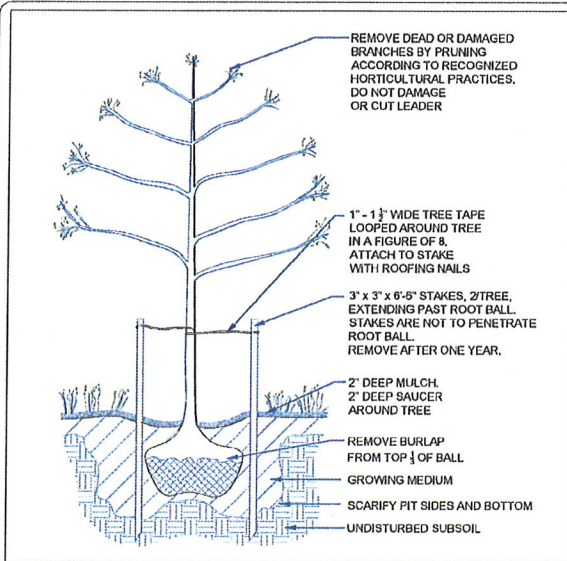
SCALE: 1:150 DATE: Aug. 16, 2014
DRAWN: CHECKED:

This is Schedule E referred to in the Development Permit

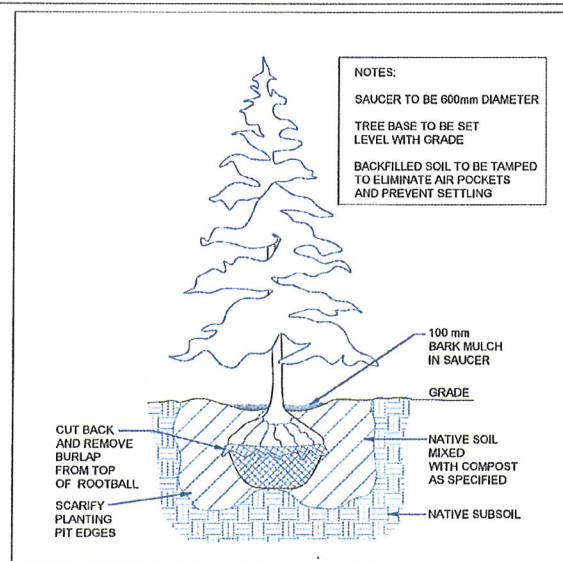
Date 2015-July-28

[Signature]
Director, Community Development

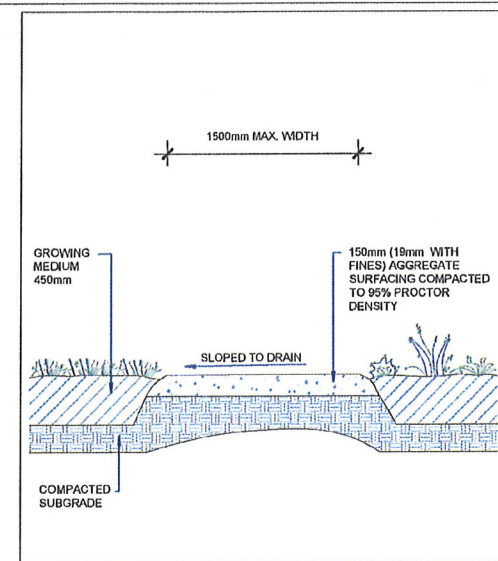
LANDSCAPE DETAILS



DECIDUOUS TREE PLANTING DETAIL
Scale: N.T.S.



CONIFEROUS TREE PLANTING DETAIL
Scale: N.T.S.



1 TRAIL SECTION DETAIL
Scale: N.T.S.

NOTES:
1. FOR GRADING INFORMATION SEE CIVIL ENGINEERING DRAWINGS

REVISIONS:
Issued for Review - 2014Aug20
Issued for Review - 2014Sep09
Issued for Review - 2014Sep10
Issued for Review - 2014Sep22
Issued for DP - 2014Sep23
Issued for Review - 2014Nov17
Issued for Review - 2014Nov20
Issued for Tender - 2014Dec21
Issued for BP Review - 2015Apr20
Issued for PT Addenda/Construction - 2015Apr20



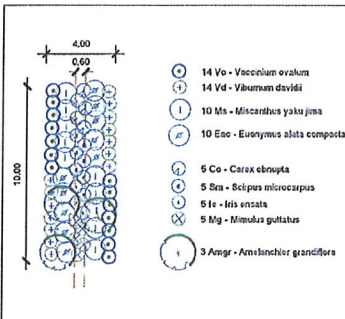
PROJECT:
BCSPCA NANAIMO, BC
154 WESTWOOD ROAD NANAIMO, BC

SITE LEGAL DESCRIPTION:
THE WESTERLY 12.042 CHAINS OF SECTION 13, RANGE 8, MOUNTAIN DISTRICT EXCEPT PART IN PLAN VP61247 AND VP61292

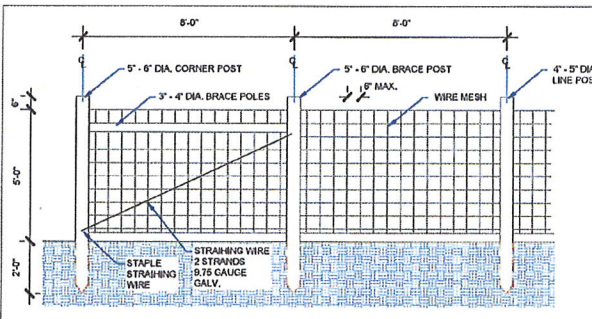
SHEET TITLE:
LANDSCAPE DETAILS
• DECIDUOUS TREE PLANTING
• CONIFEROUS TREE PLANTING
• SECTION DETAIL #1 - TRAIL
• DETAIL # 2 - FENCE
• TYP. BIOSWALE PLANTING
• SECTION DETAIL #3 - BIOSWALE

SCALE: AS NOTED DATE: Aug. 15, 2014
DRAWN: OR CHECKED: WJD
PROJECT NUMBER: BCSPCA 2014
DRAWING NUMBER:

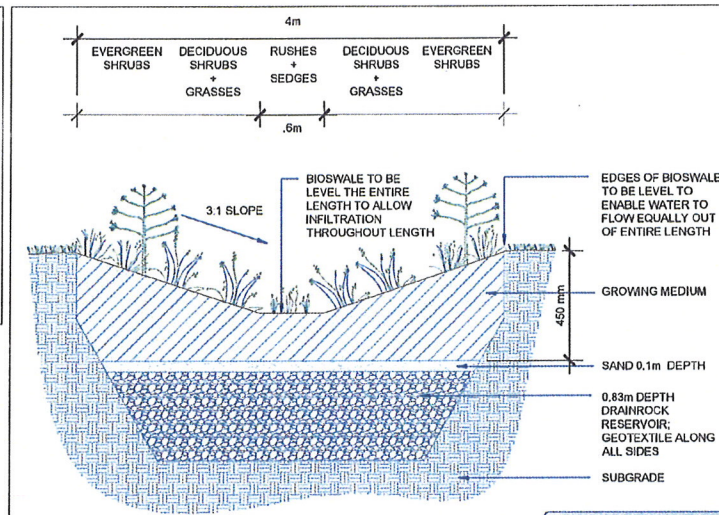
L3 of 4



TYP. BIOSWALE PLANTING - 10m STRIP
Scale: N.T.S.



2 FENCE DETAIL
Scale: N.T.S.



3 BIOSWALE SECTION DETAIL
Scale: N.T.S.

RECEIVED
By L. Nilsen at 10:32 am, Jun 03, 2015

This is Schedule F referred to in the Development Permit

2015-July-28
Date

Director, Community Development

LANDSCAPE SPECIFICATIONS

GENERAL
1.0 REFERENCE for all landscape work
1.1 BC LSC 2011 Landscape Design Manual
1.2 BC LSC 2011 Landscape Design Manual - Appendix A
1.3 BC LSC 2011 Landscape Design Manual - Appendix B
1.4 BC LSC 2011 Landscape Design Manual - Appendix C
1.5 BC LSC 2011 Landscape Design Manual - Appendix D
1.6 BC LSC 2011 Landscape Design Manual - Appendix E
1.7 BC LSC 2011 Landscape Design Manual - Appendix F
1.8 BC LSC 2011 Landscape Design Manual - Appendix G
1.9 BC LSC 2011 Landscape Design Manual - Appendix H
1.10 BC LSC 2011 Landscape Design Manual - Appendix I
1.11 BC LSC 2011 Landscape Design Manual - Appendix J
1.12 BC LSC 2011 Landscape Design Manual - Appendix K
1.13 BC LSC 2011 Landscape Design Manual - Appendix L
1.14 BC LSC 2011 Landscape Design Manual - Appendix M
1.15 BC LSC 2011 Landscape Design Manual - Appendix N
1.16 BC LSC 2011 Landscape Design Manual - Appendix O
1.17 BC LSC 2011 Landscape Design Manual - Appendix P
1.18 BC LSC 2011 Landscape Design Manual - Appendix Q
1.19 BC LSC 2011 Landscape Design Manual - Appendix R
1.20 BC LSC 2011 Landscape Design Manual - Appendix S
1.21 BC LSC 2011 Landscape Design Manual - Appendix T
1.22 BC LSC 2011 Landscape Design Manual - Appendix U
1.23 BC LSC 2011 Landscape Design Manual - Appendix V
1.24 BC LSC 2011 Landscape Design Manual - Appendix W
1.25 BC LSC 2011 Landscape Design Manual - Appendix X
1.26 BC LSC 2011 Landscape Design Manual - Appendix Y
1.27 BC LSC 2011 Landscape Design Manual - Appendix Z

2.0 Planting and maintenance
2.1 All plants and plants to be ECOSCALA, however, local trees
2.2 Plants shall be appropriate to the climate, soil and site conditions
2.3 Plants shall be appropriate to the site conditions
2.4 Plants shall be appropriate to the site conditions
2.5 Plants shall be appropriate to the site conditions
2.6 Plants shall be appropriate to the site conditions
2.7 Plants shall be appropriate to the site conditions
2.8 Plants shall be appropriate to the site conditions
2.9 Plants shall be appropriate to the site conditions
2.10 Plants shall be appropriate to the site conditions

3.0 Irrigation and water management
3.1 All irrigation systems shall be designed to provide adequate water to all plants
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3.3 All irrigation systems shall be designed to provide adequate water to all plants
3.4 All irrigation systems shall be designed to provide adequate water to all plants
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4.0 Fencing and security
4.1 All fencing shall be designed to provide adequate security for the site
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5.0 Lighting
5.1 All lighting shall be designed to provide adequate illumination for the site
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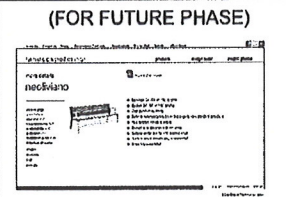
6.0 Signage
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7.0 Maintenance
7.1 All maintenance shall be designed to provide adequate care for the site
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10.9 All signage shall be designed to provide adequate information for the site
10.10 All signage shall be designed to provide adequate information for the site



4 BENCH SPECIFICATIONS
L4 Scale: N.T.S.

Table with 2 columns: REVISIONS and CONSULTANT. Includes revision dates like 'Issued for Review - 2014Aug20' and consultant name 'L4 CONSULTANT'.

PROJECT: BCSPCA NANAIMO, BC
154 WESTWOOD ROAD NANAIMO, BC

SITE LEGAL DESCRIPTION: THE WESTERLY 12.042 CHAINS OF SECTION 13, RANGE 6, MOUNTAIN DISTRICT EXCEPT PART IN PLAN VPI81247 AND VPI81292

SHEET TITLE: LANDSCAPE SPECIFICATIONS
- LANDSCAPE SPECIFICATIONS
- DETAIL #4 BENCH SPECS

SCALE: AS NOTED DATE: Aug. 15, 2014
DRAWN: DR CHECKED: VJD
PROJECT NUMBER: BCSPCA 2014
DRAWING NUMBER: L4 of 4

This is Schedule G referred to in the Development Permit

Date: 2014 July 28

Director, Community Development

RECEIVED By L. Minton at 10:34 am, Jun 05, 2015

**MAINTENANCE GUIDELINES for
PARKWAY CHARACTER & TREE PROTECTION ZONE**



VICTORIA DRAKEFORD LANDSCAPE ARCHITECT
236 Pine Street, Nanaimo, B.C. Canada V9R 2B6 Phone/Fax (250) 754-4335

**BCSPCA Maintenance Guidelines for Parkway Character and
Tree Protection Zones**
July 14, 2015

SPECIFICATIONS:

1.0 OBJECTIVES

To replant the designated area (see Landscape Plan) with native trees and shrubs interspersed with meadow.

2.0 SCOPE:

- .1 Appearance Standards: The level shall be BC Landscape Standard Maintenance Level 5. Maintenance procedures shall follow this standard. The area is intended to be wild so an informal appearance is desirable with the weeds kept to a minimum. Plants should be kept healthy. Plants should not be trimmed. There should be a routine maintenance of moderate frequency and intensity, with regular monitoring to avoid deterioration.
- .2 The maintenance period shall be from the time of planting until two years from the date of Substantial Completion of the landscape works.
- .3 Maintenance operations for the planted shrubs and ground covers shall include:
 - Watering, weeding, and being careful not to weed out naturally regenerating native plants;
 - Invasive plant removal throughout the growing season (leave existing Hawthorn trees)
- .4 Maintenance operations should, where possible, follow ecologically sound practices such as:
 - (a) Integrated Pest Management (IPM)
 - (b) Plant Health Care (PHC)
 - (c) Composting
 - (d) Application of Organic Mulches

3.0 PROTECTION OF THE AREA

- .1 All existing and new plants, site services, curbs, paving, structures, and all other features shall be protected against damage during the work.
- .2 Appropriate measures shall be taken to ensure that no spillage of fuels, fertilizers, toxic construction materials, or other toxic wastes occurs, and where use of such materials is necessary, to ensure that adequate containment facilities and clean-up equipment are utilized.
- .3 No toxic or waste materials, fuels and fertilizers shall be stored adjacent to or dumped into water courses or any other water body either on or off

This is Schedule H referred to in the
Development Permit

2015-07-28
Date

Director, Community Development

- the job site, or in a location where spillage could result in seepage into a watercourse
- .4 All toxic wastes and other material shall be disposed of in a manner acceptable to the Owner and in accordance with municipal, provincial and federal regulations.

INVASIVE PLANT REMOVAL

- 1.0 Remove all invasive plants (with the exception of the existing Hawthorn) in the disturbed area. These include Blackberries and Broom on the site. It is the responsibility of the Contractor to identify additional invasive plant species that may be on the site in the future.

Scotch broom (*Cytisus scoparius*)

Overall Guidelines:

- Minimize soil disturbance – broom throws seed up to 5 meters, waiting for the soil to be disturbed to sprout.
- Remove plants in late spring when the flowers are out (usually May) as the plant is directing its energy into flower and seed production and is unlikely to have the energy necessary to regenerate.
- Prevent the plants from going to seed – in one season, a mature plant can produce up to 3500 seed pods, each with 5-12 seeds. These seeds sit in the soil, waiting for the opportunity to sprout (called seed-banking)
- Remove all cut/pulled broom from the site. Burning on site is not effective as burning stimulates the broom seed already in the soil from past growing seasons to germinate. Cuttings should be contained in tarps or garbage bags to prevent seed drop along the exit path, and taken to a composting facility with the ability to grind the debris.
- Repeat every growing season for 3 to 5 years, as the seed bank sprouts and cut plants try to regenerate.

Method:

- a. Small seedlings (less than a pencil width)
Pull by hand when the soil is moist. Note that hand-pulling may encourage broom growth due to the unavoidable soil disturbance, so if the plant does not come out easily, see next method.
- b. Larger plants
Cut the plant off just below soil level.

Himalayan Blackberry (*Rubus armeniacus* discolour) from City of Nanaimo website

Hand-pulling and cutting are effective on young plants but brush cutters, weed-eaters and power saws are required for mature plants, and follow up treatments are often required. All plant material must be disposed of by burning or being deeply buried at a landfill. Several herbicides have been used with varying effectiveness. Seek professional advice when considering the use of herbicides.

**** The City of Nanaimo exempts the use of herbicides when managing invasive plants on residential property but encourages the use of non-chemical treatments first.***